

THE HEIGHTS

DURACK



HOUSING DESIGN GUIDELINES

STAGE 11: WHISTLING KITE RELEASE - MAY 2025

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1 Welcome to The Heights Durack

Open the door to your brand-new home and experience the difference thoughtful housing design can make to the Territory way of life.

The Heights is a contemporary masterplanned community, spanning over 50 hectares and distinguished by its elevated position and natural environment, offering unmatched convenience just a stone's throw away.

Residents will be nestled among passive open spaces, environmental habitat corridors, and a central natural lake with landscaped parklands and playgrounds. Living centrally in Durack offers ease of liveability with educational, recreational, retail, and entertainment hubs just minutes away, alongside easy access to arterial roads connecting to Palmerston and the vibrant Darwin CBD.

To enhance the unique character of The Heights Durack and ensure quality housing, we have developed comprehensive Housing Design Guidelines. These guidelines set a high standard for housing and landscape design, helping to build a community where homes are consistently constructed to secure and enhance your investment.

Our housing design guidelines are inspired by the timeless charm of traditional Territory home design, harking back to a time when living was easy, and homes were thoughtfully crafted to suit the Territory way of life and environment.

We have incorporated design aspects that embrace open living spaces and elevated structures, creating unique and practical living environments that perfectly align with the Territory lifestyle. Elevated homes not only promote natural ventilation and cooling but also provide shaded areas underneath, ideal for social gatherings or relaxing in the shade. These designs seamlessly integrate with the natural surroundings, using materials and colours that blend with the environment, fostering a harmonious connection with nature.

We're helping to build a community where homes are built to the same consistent high standards, aiming to secure and enhance your investment. These design guidelines provide:

- A set of requirements for you and your builder to follow, enhancing the character and value of your home.
- A benchmark of assurance for home design across our entire community, providing peace of mind to everyone about their choice to live at The Heights.
- Legally binding standards that are part of your contract. Please refer to the contract and make your own enquiries to fully understand your lot, the applicable design standards, and any other important aspects.

Join us in creating a community where modern tropical living meets the wisdom of traditional design, offering a lifestyle that is both comfortable and in harmony with the natural beauty of the Territory.

We hope you have a great experience with these design guidelines. If you need any advice or guidance, please don't hesitate to reach out to our friendly project team or contact The Heights Design Review Panel (DRP) at designreview@theheightsdurack.com.au. We're here to help!

1.1 Design principles

The vision for The Heights is to create a contemporary community set in a natural environment, featuring large open spaces and designs that embrace the Top End lifestyle.

The housing design principles should:

- Respond to prevailing breezes and the daily and seasonal movements of the sun.
- Maintain comfortable temperatures year round without the need for heating or cooling, helping you save money, minimise environmental impacts and enjoy the tropical lifestyle.

To ensure high-quality housing and landscaping, the following principles should be incorporated into your home design:

- A welcoming and shady front façade.
- An attractive façade using a variety of materials, colours, and architectural details.
- A roof that shades the walls and windows.
- Generous outdoor rooms for entertaining.

These Guidelines are of two types: Requirements and Recommended actions.

Requirements are those matters where compliance is expected. These are found in Sections 2 to 6.

Recommended actions are suggestions for lot owners to consider in the design and development of their properties. They can improve your lifestyle, provide convenience, and conserve energy and water. They are found in Section 7.

When your plans are assessed as complying with the Requirements set out in these Guidelines, you will obtain 'Covenant Endorsement'. You will then be able to seek a Building Permit for Building Works (Building Approval) from your preferred Building Certifier.

1.2 How to use this document

The Heights design guidelines have been prepared to:

- help you choose a home that fits your lot and your lifestyle.
- help you design a home that is comfortable and appropriate for the tropical climate.
- enhance the value of your home and community in both the short and long term.
- assist with the approval process with your designer or builder.
- inform you on how to submit your application via the online builder portal.

All the requirements set out in this document need to be satisfied for your application to be approved.

To streamline the process and make it as time efficient as possible, we've established The Heights Home Design Assessment Portal.

Here, you'll find helpful documents to assist you in preparing a great application, including a customised checklist of all the design standards that will apply to your lot.

You have the flexibility to either view the documents directly online or print them as necessary.

Whether you prefer to manage the process personally, or share it with your builder or designer, the portal is designed to empower you in expediting your home design approval, ensuring a smooth and timely experience.

This document should be read in conjunction with the Northern Territory Planning Scheme, and the provisions of the Building Code of Australia.

1.3 The design approval process

The plans for development on your lot will be assessed by The Heights Design Review Panel. You will then be emailed an approval, or comments, suggesting revisions to achieve compliance. When approved the applicant may then proceed to detailed design for the proposed dwelling and have the completed design drawings and other documents prepared for building approval by your preferred building certifier and in accordance with City of Palmerston development provisions. The drawings and associated documents noted in the checklist at the end of this document are also available on the portal.

Approved plans by the Developer in no way constitutes a Building Approval, nor imply compliance with statutory requirements. Plans should only be lodged with the Local Authority or Building Certifier after the drawings of the proposed house have been endorsed by The Heights Design Review Panel.

The Developer may approve a house design that does not fully comply with the Housing Design Guidelines if it determines it complies with their intent.

To avoid potential delays, it is recommended that non-complying designs be discussed with the Developer early in the Assessment process.

Under your Contract of Sale you are contractually required to comply with these Design Guidelines. Approval of your house plans must be obtained from the Developer prior to submitting an application to a Private Certifier for any building works.

All care has been taken to ensure that these Design Guidelines comply with current planning and building legislation. However, it is the responsibility of the owner or, their authorised representative, (such as a builder, architect or building designer), to ensure all development on a lot complies with all local and Territory statutory requirements.

Approval of any variations to the requirements of these guidelines will not create precedents for future approvals. If you want to vary the design of the house or landscape after approval is given, you must resubmit the plans for approval, with the variations clearly identified. Construction should only begin once the revised plans are approved.



Design approval process



FOR INITIAL ENQUIRIES PRIOR TO SUBMITTING VIA THE PORTAL, YOU CAN CONTACT THE HEIGHTS DESIGN REVIEW PANEL USING THE DETAILS BELOW.

designreview@theheightsdurack.com.au

1800 046 766 or 03 9650 2081

www.theheightsdurack.com.au

YOU CAN ACCESS THE PORTAL USING ANY OF THE FOLLOWING OPTIONS:

[CLICK HERE](#)

ACCESS VIA www.theheightsdurack.com.au/building/



2. Time limits for building

In assisting to create a vibrant community, purchasers must commence building works on the lot within 18 months of the settlement date, using plans endorsed by the DRP as complying with these guidelines.

Construction must be completed within 12 months of construction commencement inclusive of the dwelling and driveway.

The lot owner must complete landscaping and fencing within 6 months of construction completion.



3 Orienting and placing your home

3.1 Orientation

Your home should be positioned on the site and oriented to ensure the maximum possible benefit for passive solar gain, to improve energy efficiency and create a more pleasant living environment. Orientation of homes to provide an outlook to the street and areas of private open space is also important.

REQUIREMENTS

B1	Orientation	Where possible, orientate internal and external living areas to the north-east, to capture breezes and maximise ventilation.
B2	Maximum height	Any part of a building must not be higher than 8.5 m above natural ground level.
B3	Upper floor articulations	The front façade of a house with two or more stories must include a verandah or balcony at least 2.4 m long and 1.8 m deep.
B4	Outdoor recreation area	Outdoor recreation areas must be shaded.

3.2 The building envelope and setbacks

The setback of your house is an important part of achieving the desired streetscape character.

The Access and Building Envelope Plan specifies minimum setbacks, site cover, and site development requirements for every lot.

This plan is part of the land sales contract and must be adhered to.

The Access and Building Envelope Plans for individual lots can be found on the website www.theheightsdurack.com.au or in your land sales contract.

REQUIREMENTS

B5	Siting and setbacks	The siting of the house, and associated structures such as garages, carports, patios and garden sheds, must comply with the lot's Access and Building Envelope Plan, which is set out in the contract of sale.
B6	Wall on boundary	If building on the lot boundary is allowed, the building may abut only the nominated side and rear boundary.
B7	Front façade articulating structures	Note: This code does not apply to Whistling Kite Release Stage 11. Please refer to future stages for applicable requirements. On courtyard and traditional lots, porches, verandahs and balconies must be set back at least 4.5 m from the front boundary of the lot.

Build-to-boundary requirements

Note: Currently, there are no build boundary lots in Whistling Kite Release Stage 11. Please refer to the requirements for future stages where applicable.

As it is possible to build to the boundary line of nominated lots, generally identified as Villa, Courtyard, and Economy Traditional lot types, it is important to consider your building design. Having a build-to-boundary lot gives you the option of building on the boundary but is not a requirement.

Only non-habitable rooms, as defined by the NT Planning Scheme, may be built on a lot boundary. These are typically the garage, laundry and storerooms. Habitable rooms, as defined by the NT Planning Scheme, must be set back as per the lot's Access & Building Envelope Plan.

REQUIREMENTS

B8	Build-to-boundary setback	A build-to-boundary wall must be set back at least 300 mm from the lot boundary to provide space for fascias, guttering and downpipes. Eaves are not required over a build-to-boundary wall.
B9	Build-to-boundary length	The total length of build-to-boundary walls of Villa & Courtyard allotments must not exceed 40% of the total length of the lot boundary. The length of any single wall section must not exceed 9 metres. On an Economy Traditional Allotment, only the garage wall may be built on the boundary.
B10	Build-to-boundary wall height	A build-to-boundary wall must be no higher than 3.5 m above natural ground level.
B11	Parapet wall	A parapet wall may be approved by the DRP on architectural merit, except on a build-to-boundary lot boundary. Eaves are not required over a parapet wall.
B12	Boundary fencing	Boundary fencing is prohibited adjacent to a build-to-boundary wall. The fence should return to that section of the wall which abuts the boundary.
B13	Siting of services	If a wall is less than 1.2 m from a lot boundary, services must not be fixed to it. These include, but are not limited to, air-conditioning units, fixed clothes lines, hot water systems, gas cylinders and fuel storage systems.



4 Designing your home

4.1 Your house's appearance

The front of your house presents you to the world and contributes to the character of your street. To achieve an interesting, attractive, and distinctive façade, articulate the façade with architectural elements such as verandahs, porches, pergolas, balconies, sunshades, and eaves.

Architectural style

The style of homes at The Heights Durack is expected to exemplify fresh, contemporary tropical architecture that responds to Darwin's climate.



PHOTO COURTESY OF TROPPO ARCHITECTS

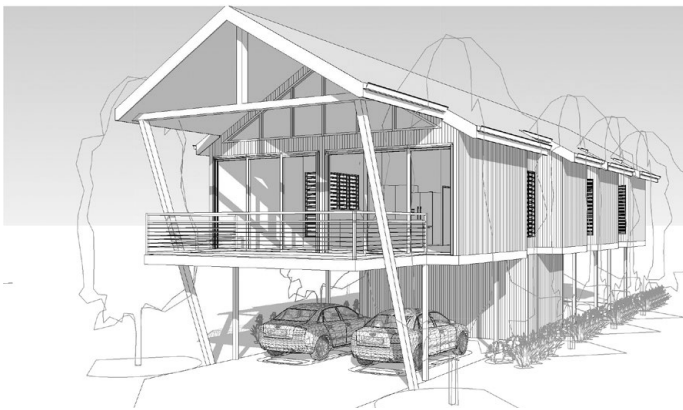




Above: The front of your house should have a contemporary tropical design that contributes to the character of the street.

Your home's front facade and entrance

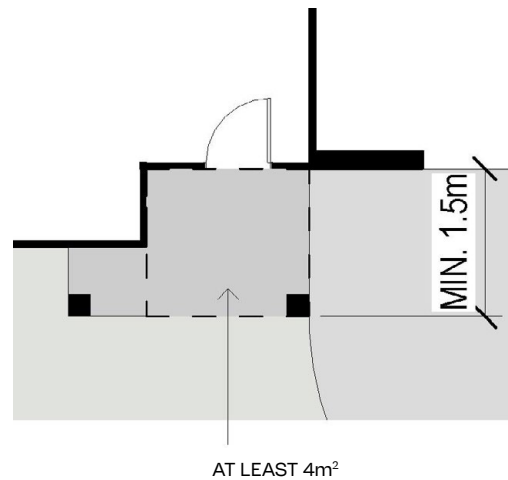
For your house to be as welcoming as possible to you, your family, and guests, if possible emphasise the front door. Also, to be hospitable, give those people waiting at the door shelter from the sun and the rain. Architecturally emphasising the front door also plays down the garage door.



REQUIREMENTS

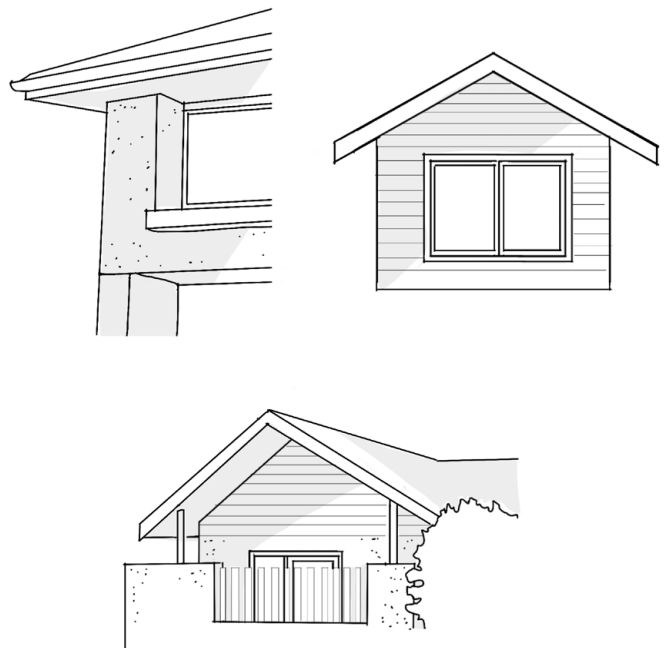
C1	Visual interest	The front façade of the house must have at least a moderate level of visual interest. This may be achieved by using such techniques as multiple materials, horizontal and vertical steps, and other articulating elements.
C2	Front elevation	To provide at least moderate visual interest, a building facade and eaves line facing a street must step at least 500 mm at least every 8 m.
C3	Front entrance	The house's front entrance must be obvious from the street, whether set in the front façade or in a side façade.
C4	Weather protection to front door	The house must include a roofed structure immediately in front of the front door, such as a porch, verandah, or portico, that extends forward of the main roofline. The structure must have an area of at least 4.0 m ² , a depth of at least 1.5 m, and be open on at least two sides.
C5	Cladding of posts	Any material used on posts or pillars must be used on all their sides.

Below: Minimum dimensions for the weather protection structure in front of the front door



Adding visual interest

Visual interest can be added with roof and wall articulation, the addition of decks, patios, pergolas and verandahs, patterning to the walls, garden beds and garden features. Use at least two materials and matching colours. Articulate the front façade of your house. Large eaves, deep verandahs, pergolas, and sunshades work well in Durack's tropical climate.



Above: The large eaves and sunshades over the windows help keep homes cool.

REQUIREMENTS

C6	Two materials	The front façade must include at least two different wall materials or finishes.
C7	Primary material	The primary material of the front façade must cover less than 70% of its wall area, excluding openings such as windows and doors, and any gables.
C8	Second material	A second material of the front façade must cover at least 10% of its wall area, excluding openings and gables.
C9	Street elevation	On a façade of the house facing a street, the wall must not be plain for longer than 3 m. Items to break up plain walls include windows, doors and feature materials.



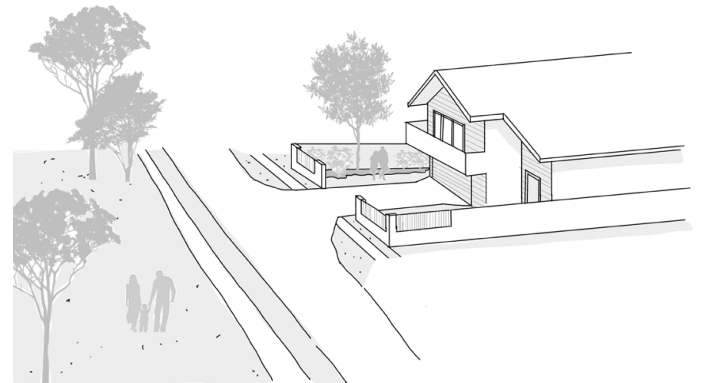
Above: The front façade must include at least two different wall materials

Frontages to secondary streets and parks

Your house should present attractive façades on all frontages facing streets and parks. This can be achieved by seamlessly articulating windows and wall breaks, and by integrating a variety of materials and colours to avoid large blank façades. A façade facing a secondary street or a park must have a similar level of visual interest and composition as the front façade.



Above: Secondary Street Presentation - The façade facing a secondary street must have a similar level of visual interest and composition as the front façade.



Above: Park Frontage Presentation – An interesting façade with a balcony and an outdoor living area can provide casual surveillance of the park, while fencing and planting provide for both privacy and an outlook to the park.

REQUIREMENTS

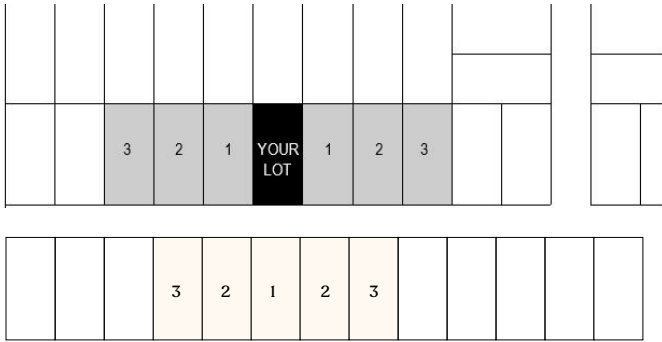
C10	Views out	Every façade facing the public realm must include at least one habitable room window per storey with eye-level views to the public realm.
C11	Secondary street frontages	On a corner lot, the façade facing the secondary street must be treated in a similar manner to the front façade.
C12	Park façades	A façade facing a park must provide a level of visual interest equivalent to that of the front façade. Verandahs, decks, and patios are appropriate articulating elements.
C13	Front facade upper levels	Walls to upper floors must be articulated along the front façade with verandahs and balconies with minimum dimensions of 2.4 m wide x 1.8 m deep.

Individual designs

To create distinctive and attractive streets, each house should add visual interest by being in harmony with the character of its neighbours yet adopting designs with individual appeal.

REQUIREMENTS

C15	Similar facades	<p>The front facade of the house must not be identical or very similar to a facade on the same street on the nearest three lots adjacent to and on the other side of the street from the lot. This includes buildings constructed, under construction and in applications already received by the DRP.</p> <p>(Usually, changing materials and colours will provide sufficient difference. In rare cases, the building's form may need to change.)</p>
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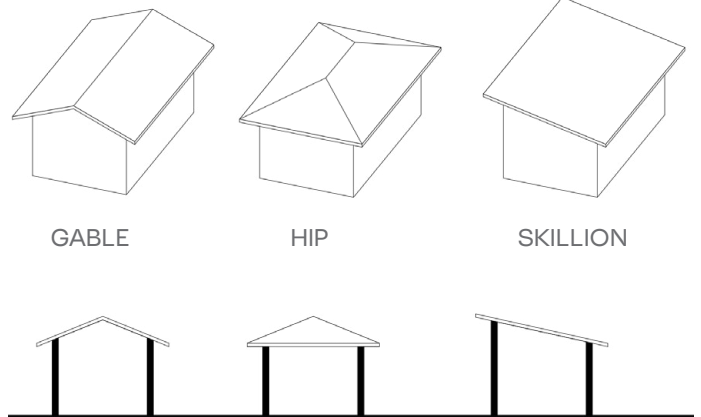
Above: The front facade of your house must be different from those of the houses within three lots on either side of the street.

4.2 The roof

At The Heights Durack, the roof of the house should create visual interest while also shading the house and shedding the rain. It should complement the architectural intent of the home and contribute positively to the streetscape.



Above: Use varied roof forms with contemporary style, incorporating eaves for shading windows and outdoor living areas.



REQUIREMENTS

D1	Roof form	One of the following main roof forms must be used: skillion; gable; Dutch gable; or hipped. A parapet roof form may be approved by the DRP on architectural merit.
D2	Single roof	A large single roof plane that dominates the house when viewed from the street is prohibited.
D3	Roof pitch	A gable, Dutch gable or hipped roof must have at least two roof planes, each with a pitch of at least 22°.
D4	Skillion pitch	A skillion roof must have at least two roof planes, each with a pitch between 10° and 15°.
D5	Eaves	Eaves at least 900 mm deep must be provided over all facades, including garages, except for build-to-boundary walls and parapet walls. 300 mm eaves over gables may be approved by the DRP.
D6	Under-eave extensions	An under-eave extension must be less than 4.8 m long and 900 mm deep, and only be used for non-habitable spaces such as pantries and wardrobes.

SOME POTENTIAL ROOF FORMS



Skillion



Dutch Gable



Gable



Hipped

4.3 Roof runoff

In Darwin's tropical climate, the heavy rains can easily cause water damage, erosion and flooding. To avoid damage to you and your neighbours, your house and lot needs a robust stormwater drainage system.

REQUIREMENTS

D8	Runoff collection	All roof runoff must be collected and disposed so it does not run onto an adjoining lot. If a roof edge is within 1.5 m of the lot boundary, the runoff from the roof must be collected in an attached gutter. Where roof edges are further than 1.5 m from a lot boundary, a ground level sheet water runoff control technique must be used, such as a pebble drain.
D9	Built-to-boundary downpipes	All downpipes on the built-to-boundary side of your lot must be connected to underground stormwater drains that discharge the nominated stormwater discharge point.
D10	Erodible surfaces	Where rainwater falls from gutters and downpipes, the ground below must be treated to minimise scour and erosion. Suitable surfaces include pebbles and turf.



4.4 Walls, doors and windows

Walls, doors, and windows provide much of the character of your home. The doors and windows of the front façade add visual interest and connect the interior to the street, allowing both breezes and a sense of openness. Windows may be tinted or clear. Louvres may be aluminium rather than glass. Screens can offer ventilation and views while keeping insects at bay.

REQUIREMENTS

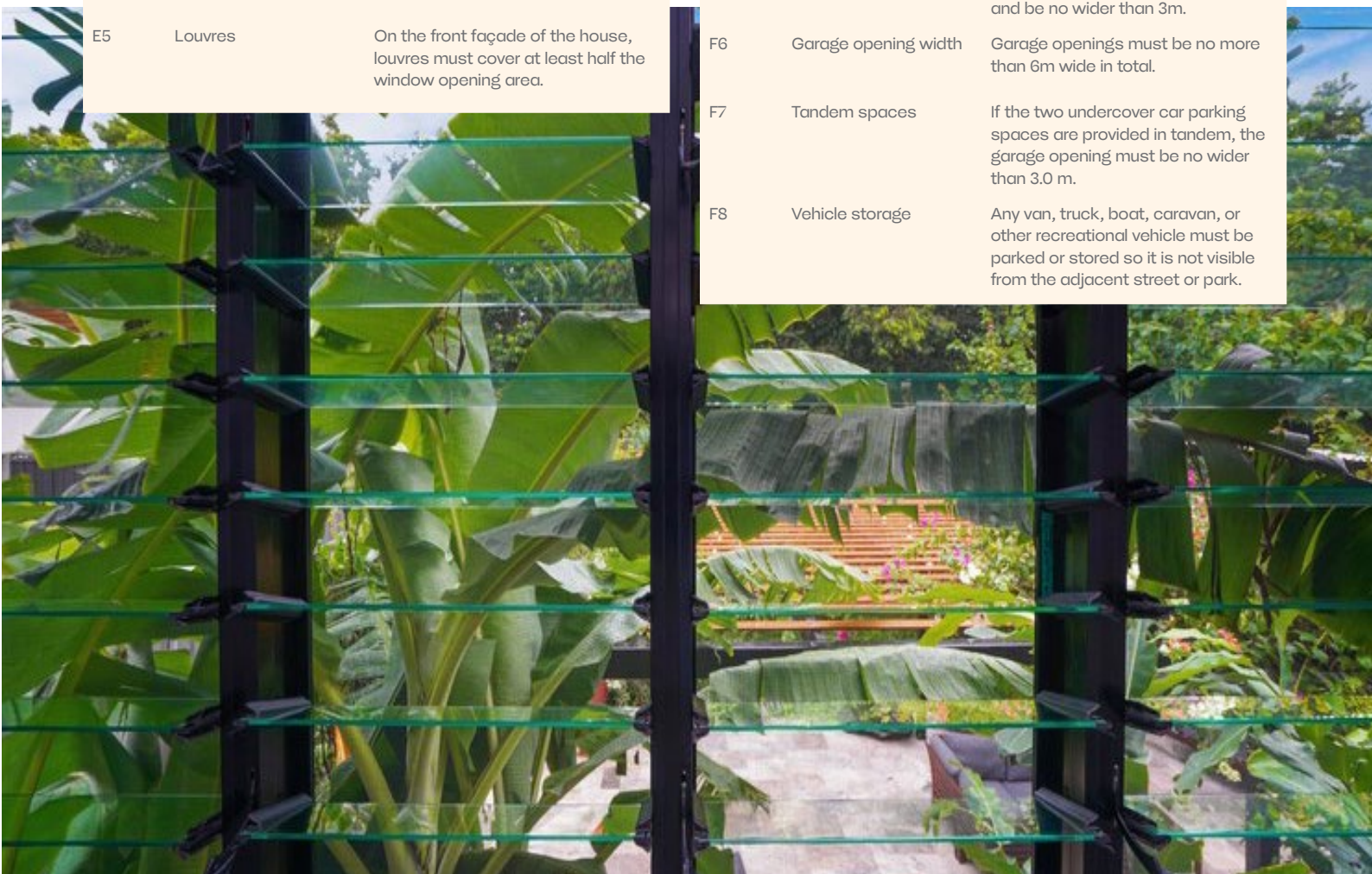
E1	Wall length	If a facade faces a street or a park, any one wall plane must be no longer than 8m.
E2	Wall height	An exterior wall in a single plane must be no higher than 6.5 metres above natural ground level. The wall area under a gable roof may be higher.
E3	Security screens	On windows facing streets and parks, only stainless steel woven mesh screens are allowed. Internal security bars may be approved by the DRP. Other types of security screens, such as diamond mesh or external bars are prohibited.
E4	Roller shutters	A roller shutter over a window is prohibited if either the header box or the retracted shutter is visible from the public realm.
E5	Louvres	On the front façade of the house, louvres must cover at least half the window opening area.

4.5 Motor vehicle storage

A well-designed garage or carport not only protects your motor vehicles, it also makes your home more attractive when viewed from the street. By minimising the visual impact of garage doors, your home's front façade becomes more appealing, contributing to the street's overall charm.

REQUIREMENTS

F1	Under main roof	A garage or carport must be under the main roof of the house. Alternatively, a well-designed freestanding structure within the lot's building envelope may be approved by the DRP.
F2	On-site car parking spaces	Each lot must accommodate at least two (2) under-cover car parking spaces. These may be in a garage or a carport.
F3	Garage setback, most lots	Garages & carports must be set back at least 1 m behind the building line.
F4	Storage space	If the lot does not include a garage, a lockable storage space of at least 4 m ² must be included within the carport.
F5	Third space	An opening to a third garage space must be set back from the other garage/carport openings at least 1m and be no wider than 3m.
F6	Garage opening width	Garage openings must be no more than 6m wide in total.
F7	Tandem spaces	If the two undercover car parking spaces are provided in tandem, the garage opening must be no wider than 3.0 m.
F8	Vehicle storage	Any van, truck, boat, caravan, or other recreational vehicle must be parked or stored so it is not visible from the adjacent street or park.

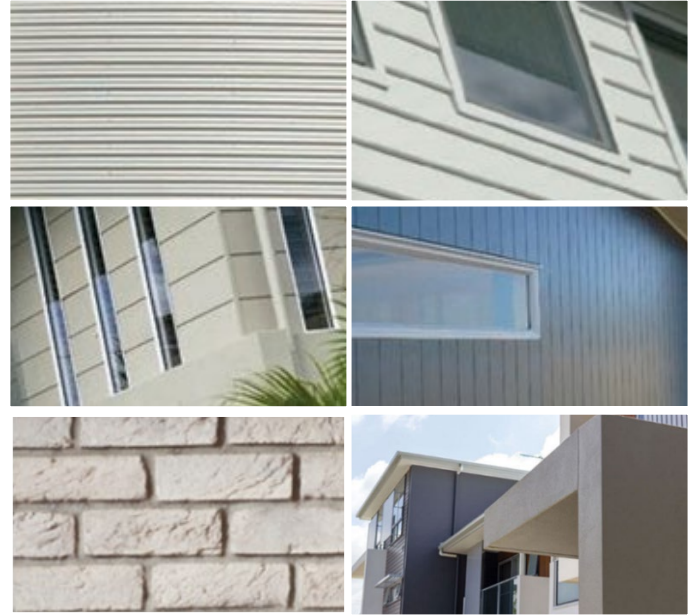


4.6 Materials

It is intended housing and associated structures should use a diversity of quality finishes, materials and colours to create an attractive neighbourhood character with a modern tropical style. A wide range of materials can be used on the walls and roofs of houses at The Heights. These have been selected to help achieve visual harmony between houses, and to create attractive streets.

REQUIREMENTS

G1	Roof materials	The house roof, must be clad in one of the following materials: factory-coated corrugated metal sheeting (e.g. Colorbond); low-profile glazed concrete roof tiles, including shingles; or another material, if approved by the DRP.
G2	Front façade materials	The following materials are recommended for use on the front façade: Colorbond®; fibre cement cladding with frequent shadow lines. (Note: plain sheets are prohibited.); rendered blockwork ; finished timber feature panels and posts; aluminium feature panels and posts; feature tiles and stonework; clay brick and brick veneer; other materials, if approved by the DRP.
G3	Painted surfaces	All wall surfaces that need painting or coating must be finished prior to the house being occupied.
G4	Metal elements	Any metal elements on the exterior of the house, such as the guttering, fascias, and garage door, must be made of factory-coated sheet metal, such as Colorbond®.
G5	Prohibited materials	The following materials are prohibited for use on walls: plain fibre-cement sheets; metal roof sheeting, of any profile, if used as the primary wall material.



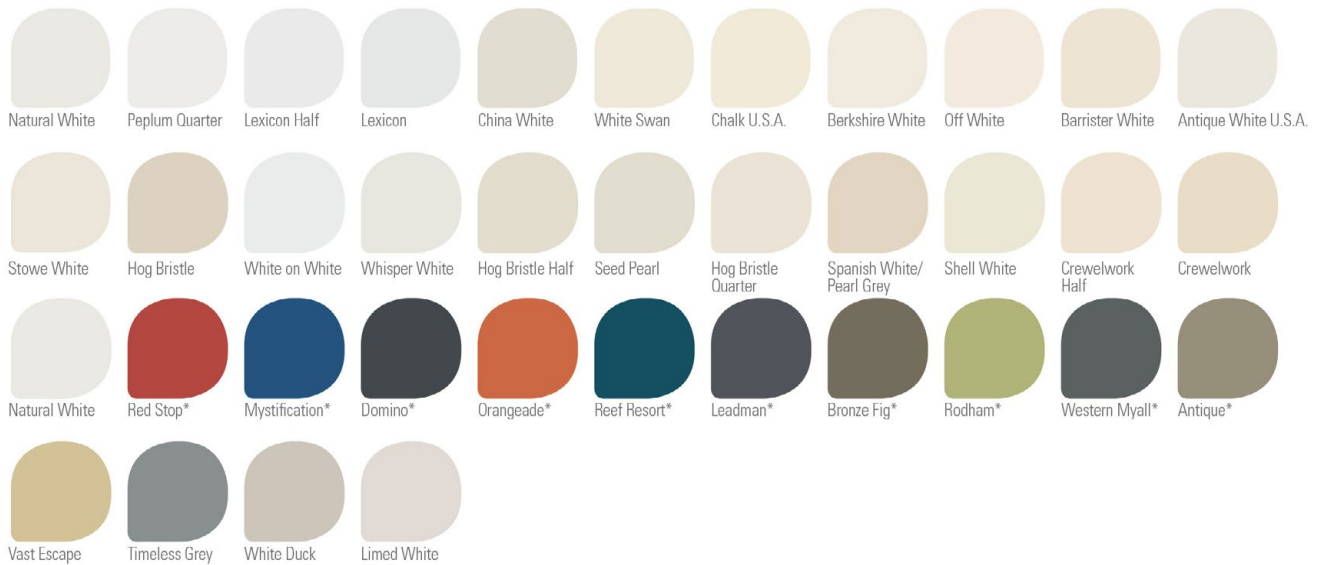
Above: Recommended materials for the front wall of the house: corrugated metal sheets, such as by Colorbond®; fibre cement weatherboards, such as Scyon Linea or Primeline Weatherboard; fibre cement horizontal boards, such as Scyon Stria; fibre cement vertical boards, such as Scyon Axon or Hardie Oblique; face brickwork and brick veneer; rendered blockwork.

4.7 The colour scheme

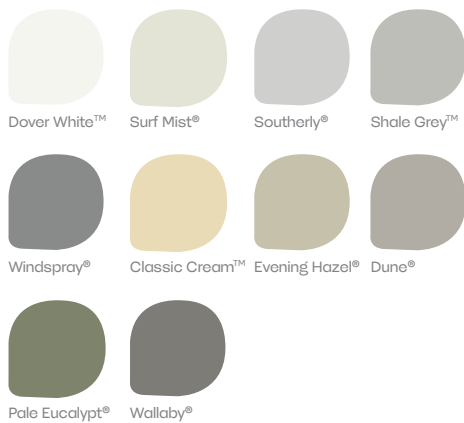
The colour scheme you choose for your house should reflect the contemporary character of The Heights. For the primary and accent colours, please select light and neutral tones. These will help create an attractive and tranquil neighbourhood and reduce the heat load on your house.

The colours of your roof, gutter and fascia should also reflect the contemporary character of your house. The colours of these elements may complement or contrast with the house's wall and roof colours.

DULUX WHITE AND MODERN COLOURS



Above: Examples of colour palettes suitable for use on exterior walls at The Heights Durack.



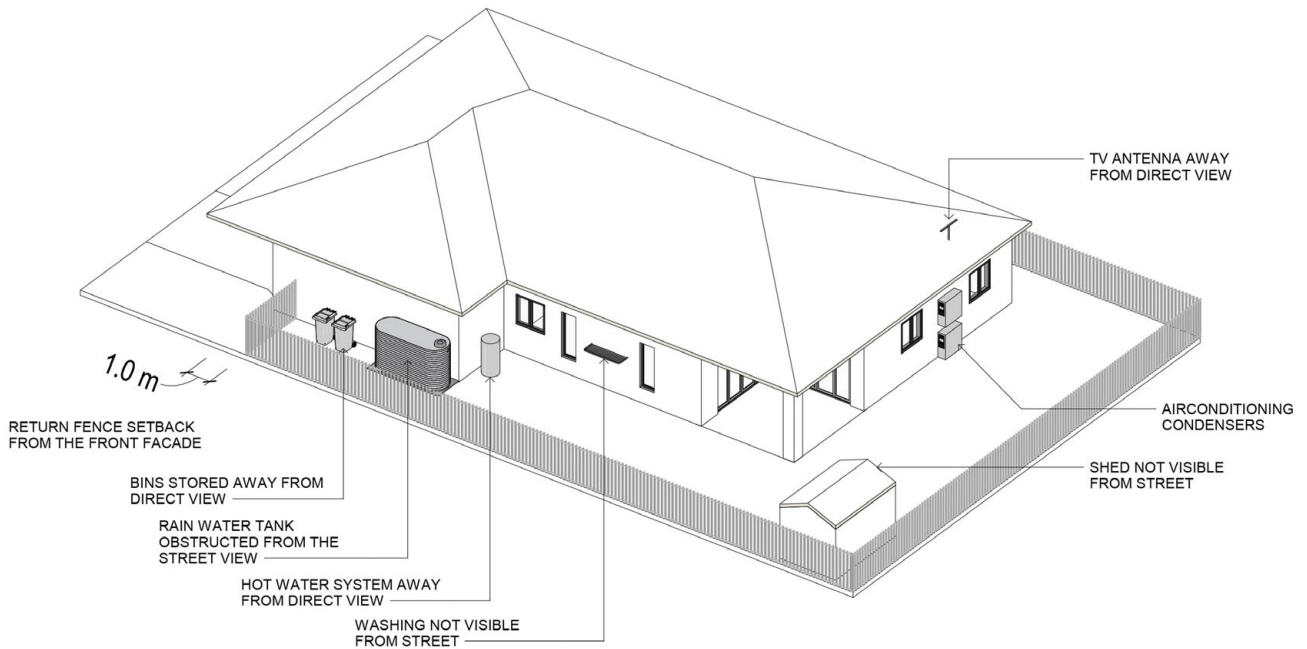
Above: Suitable Colorbond® colours for roofs, fascias and gutters

REQUIREMENTS

G6	Wall colour	The colours used on the exterior walls must match or be similar to the example colour palettes shown in this document. Other colours may be approved by the DRP if matching the contemporary tropical character of The Heights.
G7	Roof colour	The solar absorptance rating of the house roof must be less than 0.6. Other colours may be approved by the DRP if measures are used to compensate for the reduction in the house energy efficiency rating.
G8	Garage door colour	The garage door should also be a light and neutral colour to make it less prominent. A lighter tone of the main wall colour is preferred.
G9	Accent colours	Bright colours may be used on a small area of the external walls to accent a feature or an area, typically less than 10% of the façade area. Approval shall be at the discretion of the DRP.

4.8 Ancillary equipment

Ancillary equipment includes air conditioning units, hot water systems, solar panels, gas cylinders, antennas, satellite dishes, clothes lines and rubbish bins. Ancillary equipment should not be visible from streets or parks and should not be significantly detrimental to the amenity of neighbouring lots.



Above: Ancillary equipment and structures should be positioned out of public view.

REQUIREMENTS

H1	Items not visible to the public	All ancillary items, including air conditioning units, rubbish bins, clothes lines, hot water systems and gas cylinders, must be positioned where they are not visible from the street or must be fully screened within an enclosure.
H2	Meter box colour	The colour of the electricity meter box must be the same or very similar to the colour of the wall it is mounted on.
H3	Antennas	Antennas & data services must not be placed on the house's front roof plane or generally on the front half of the roof.
H4	AC position	Air conditioning units must not be mounted on the front façade of the house or on the roof.
H5	Letterbox	A letterbox must be installed at the front boundary of the lot and must complement the style and colour of the dwelling. Typical materials are metal, timber, brick and rendered masonry.

4.9 Privacy & Security

Privacy between neighbours is important. Views and outlook should be maintained and concentrated toward the public realm and not over neighbouring properties.

Maximising privacy for internal spaces and outdoor areas is highly desirable. Overlooking of neighbouring buildings and their private outdoor spaces should be avoided, particularly by a two story house.

REQUIREMENTS

H6	Screened views	If the house is two storeys, the view from an upper-level window of a bedroom or living area, or from a balcony or terrace, must be screened if it is within 9.0 metres of the window of a bedroom or living area or private open space of neighbouring lot.
H7	Decks or verandahs	A view from a deck or verandah to a neighbouring property must be blocked, such as by using solid screening panels or upward facing louvres.
H8	Outdoor verandah and/or swimming pool privacy	If an outdoor patio, swimming or plunge pool is within 4 m of a lot's boundary, a 1.8 m high solid fence must be erected on the boundary to provide noise attenuation and privacy.
H9	Pool by a park	If a boundary is to a park or public open space, a pool or plunge pool must not have a solid fence on the boundary, except for glass panels. Plants can be used to achieve privacy.

H10	Privacy and noise	<p>There are acoustic treatments required on lots that have an acoustic fence/wall installed.</p> <ul style="list-style-type: none"> For homes on Lots 501- 504 / Parcel 16168-16171 the treatments to windows must be applied as per the table, for the second storey only. For homes on Lots 505 - 512 / Parcel 16172 - 16179 the treatments to windows must be applied as per the table for the entire dwelling. <p>Note: Louvres on the front of the home (only) are exempt.</p>
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WINDOW ACOUSTIC TREATMENT REQUIREMENTS:		
ROOM TYPE	MINIMUM ACOUSTIC RATING	DEEMED-TO-COMPLY GLAZING
a) Bedroom	$R_w + C_{tr} \geq 31$	10.38 mm laminated glazing
b) A non-habitable room attached to a) (eg. ensuite)		
c) Habitable room, other than a bedroom and an enclosed kitchen	$R_w + C_{tr} \geq 28$	6.38 mm laminated glazing
d) A non-habitable room attached to c)		



Above: Views from an upper level to a neighbour's private open space must be screened.

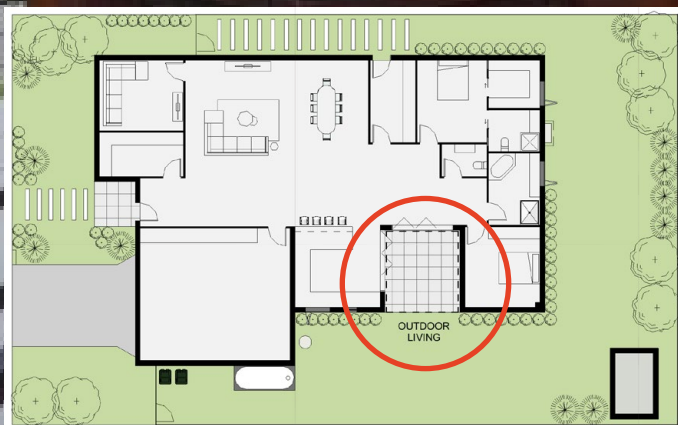
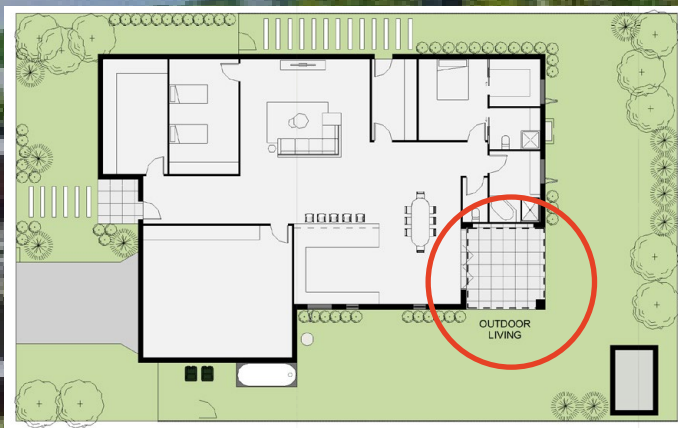
5 The outside

5.1 Outdoor living areas

In the Top End, covered outdoor living areas offer comfort, shade, and a dry space which is usable throughout the year. This allows for a practical alternative to a second indoor living room, providing a fantastic outdoor retreat. For optimal functionality, create an outdoor living space in your backyard and ensure direct accessibility from your indoor living areas to your covered outdoor space.

REQUIREMENTS

11	Outdoor living space	The outdoor living space must be one continuous space with a minimum area of 20m ² , and a minimum dimension of 4m. This area may include the area under eaves, if required.
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Above: An outdoor living room can be in the back yard or fully integrated with the layout of the house.

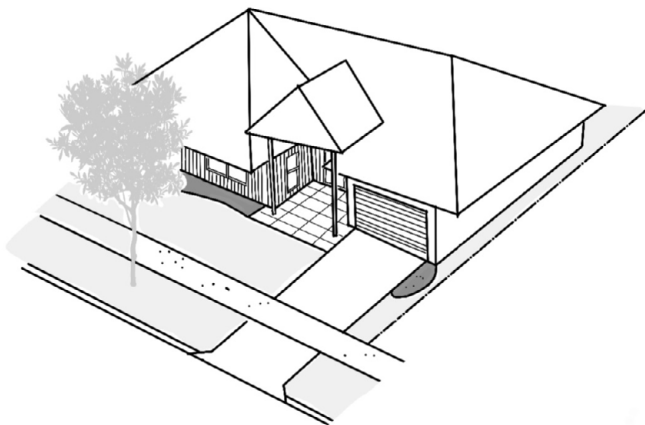


5.2 Driveways, paths and crossovers

The crossover is the part of the driveway between the front of your lot and the kerb. The Access and Building Envelope Plans prepared for The Heights Durack show the council-approved crossover location for your lot. As the crossover is on public land, its construction remains subject to approval by the City of Palmerston.

REQUIREMENTS

I2	One driveway	Only one driveway per lot may be constructed between the garage or carport and the kerb.
I3	Driveway set back from boundary	The driveway must be set back from the nearest lot side boundary at least 300 mm, and the gap must be turfed or used as a garden bed.
I4	Driveway materials	Driveways must be made of reinforced concrete with an exposed aggregate surface.
I5	Footpath	Where a footpath is provided, the footpath must be retained as part of the construction of the driveway and crossover.
I6	Crossover	The crossover (that part of the driveway on Council land) is approved by the City of Palmerston and then built by it. The crossover must comply with the Access and Building Envelope Plan.

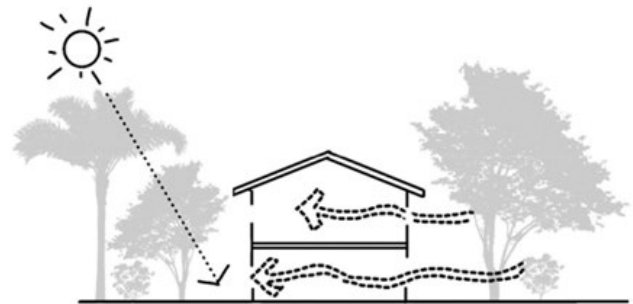


Above: An existing footpath must be retained when constructing a driveway and crossover.

5.3 Landscaping

At The Heights Durack, landscaping is integral to shaping an appealing green and leafy neighbourhood. Your front yard (the area between the front of your lot and the front façade of your home), should feature a variety of native and introduced tropical plants, of varying size (including trees, shrubs and ground covers) to complement your home.

When selecting plants, prioritise species that offer colourful flowers and intriguing foliage to create a visually captivating environment that becomes an extension of the streetscape.



Above: Trees can shade the house and allow breezes through to cool the house.

REQUIREMENTS

J1	Garden beds	At least 25% of the front yard, excluding the driveway, must comprise edged and mulched garden beds, planted with a variety of plants of different sizes and types, including shrubs and ground covers.
J2	Turf	Turf must be installed to cover all parts of the front yard and the verge (the area between the front of the lot and the kerb) that are not paved or mulched.
J3	Plant density	A garden bed must be planted to a density of at least one plant per 1 m ² .
J4	Trees or shrubs	At least two (2) trees or shrubs must be planted in the front yard. This includes at least one (1) shade tree with a mature height of at least 4 m and a pot size on planting of at least 600 mm, and at least one (1) shrub with a mature height of at least 3 m and a height on planting of at least 300 mm.
J5	Irrigation	An automatic irrigation system must be installed to ensure full coverage of landscaped and turfed areas of your front yard.

5.4 Secondary structures

Secondary structures refer to minor buildings in the rear and side yards. These include sheds, pergolas, workshops, gazebos, change rooms and aviaries.

Construction of secondary structures remains subject to the approval of a building certifier and the provisions of the local authority.

REQUIREMENTS

K1	Total area	The total area of all secondary structures must not exceed the dimensions shown in the table below.										
		<table border="1"> <thead> <tr> <th>Lot Size</th> <th>Maximum Area</th> </tr> </thead> <tbody> <tr> <td>< 400 m²</td> <td>3m x 3m</td> </tr> <tr> <td>400-500 m²</td> <td>5m x 3m</td> </tr> <tr> <td>500-650 m²</td> <td>6m x 4m</td> </tr> <tr> <td>>650 m²</td> <td>8m x 6m</td> </tr> </tbody> </table>	Lot Size	Maximum Area	< 400 m ²	3m x 3m	400-500 m ²	5m x 3m	500-650 m ²	6m x 4m	>650 m ²	8m x 6m
Lot Size	Maximum Area											
< 400 m ²	3m x 3m											
400-500 m ²	5m x 3m											
500-650 m ²	6m x 4m											
>650 m ²	8m x 6m											
K2	Height of structures	Secondary structures must be no higher than 3.5 m above natural ground level.										
K3	Position	<p>The secondary structure must be set back from all side and rear boundaries at least 1.5 m. It can be set back only 1 m, provided it:</p> <ul style="list-style-type: none"> only includes windows that are either glazed in an opaque material and cannot be opened, or have a sill height of 1.6m or higher; has a height of no more than 3.5m; and has a length of 8m or less. 										
K4	Corner lots	If the lot is a corner lot, a shed or workshop must be set back from the secondary street at least 2.5 m.										
K5	Effect on neighbours	The secondary structure must not overshadow or block light from the windows of any adjacent houses.										
K6	Materials	Sheds and workshops must be made from factory-coated sheet metal matching the colour scheme of the house.										
K7	Not prominent	Sheds and workshops must not be prominent in views from adjacent streets or parks.										
K8	Shade Sails	Shade sails up to 3.5 m high must be set back at least 900 mm from side and rear boundaries and at least 3 m from the front boundary of the lot. If 3 m from the front boundary of the lot, the maximum height must be 2.5 m.										



5.5 Front yard fencing

Fencing of the front yard marks the division between public and private areas.

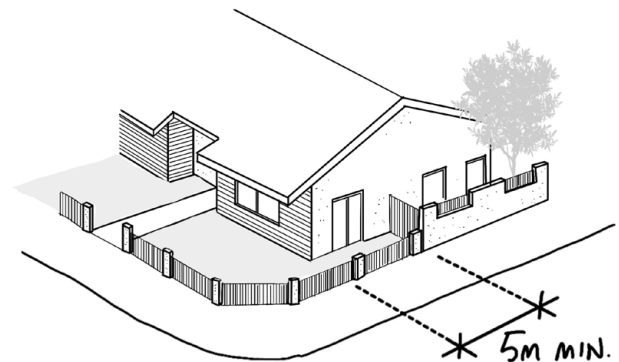
Where a front fence is present, it should maintain clear visibility over the front garden to the street, and to the front of the dwelling from the street.

This 'passive surveillance' keeps the community safer. Garden beds and hedges should be used in conjunction with the front fence.

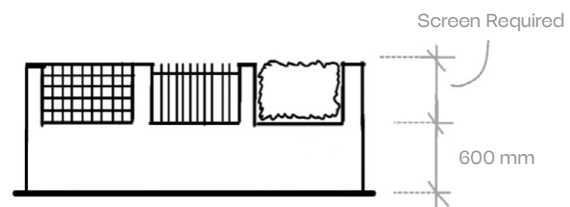
Front fences on a corner lot should extend around the corner and behind the main building line with attractive high fencing to the secondary frontage to provide privacy to the private open space.

REQUIREMENTS

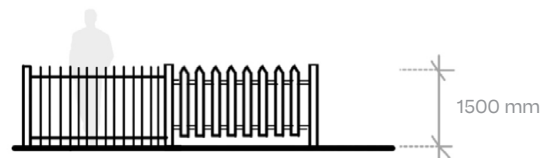
L1	Fence material and height	<p>A fence around the front yard:</p> <ul style="list-style-type: none"> a combination of rendered/design block wall/feature stone piers with slats; slat fencing with solid feature panels; pool & metal tubular fencing, only if it is heavily landscaped. <p>Maximum height 1500mm. 1800mm may be permitted at DRP discretion.</p> <p>A solid plinth may be used under a slat fence, if between 450 mm and 600 mm high. A higher plinth may be permitted at the discretion of the DRP depending on the purpose of the fencing.</p> <p>Solid fencing is not permitted, 50% must be either horizontal or vertical slats with minimum 10mm gaps.</p>
L2	Front fence colour	Front fences are encouraged to be in colours that are complementary to the house and add character to it.
L3	Transition fence	A front fence may rise to meet the height of a higher side boundary fence over a length of no more than 2 m. The rise must begin behind the alignment of the front façade of the house.
L4	Front fence on a corner lot	<p>On a corner lot:</p> <ol style="list-style-type: none"> the front fence must continue along the boundary beside the secondary street, meeting the higher privacy side fence at least 5 m behind the front façade alignment. the fence must be constructed to a minimum standard comprising exposed posts; butted palings, and capping rail.



Above: A privacy fence along the boundary of a secondary street must be set back at least 5m from the nearest corner of the house.



Above: Front fences may be solid up to 900mm high.



Above: Front fences made of pickets must be no higher than 1.5 m.

5.6 Side & Rear fencing

Fencing between lots provides privacy. Fencing of lots adjacent to parks or where acoustic treatment is required will be provided by the Developer to ensure consistency of appearance.

REQUIREMENTS

L5	Fence design	Side & rear fencing can be brick/masonry/pailing/metal slats/powdercoated mesh or colorbond goodneighbour fencing. All fencing must not exceed a maximum height of 1.8 m.
L6	Fence position	A privacy fence must be set back at least 2 m from the nearest front corner of the house.
L7	Return fence	A return fence and any gate in it must be made from the same design, materials, height, colour, and finish as the side fence it is attached to.
L8	Developer-installed fencing	Developer-installed fences must not be altered, removed, damaged, or modified in any way without prior written approval from the DRP. It is the responsibility of the lot owner to keep the entire fence in good order and condition.
L9	Powder coated finish	All metal fence posts and rails shall be powder coated.
L10	Concrete blockwork	Concrete blockwork and masonry fencing shall be rendered and painted, unless it is smooth, polished, honed, split or semi honed.
L11	Wing fence	Where the side wall of a dwelling is set back 3 m or more from the side boundary of an lot, the wing fence must be screen fencing constructed of materials and colours that complement the house.
L12	Screening on fences	Screening materials must not be attached to a fence to block the view through it. This includes PVC, fabrics and bamboo.
L13	Fencing to secondary street frontage / public open space	Fencing to be erected on any secondary street frontage or boundary that faces any public open space must be permeable for at least 50% of the length. Suitable fencing types include: <ul style="list-style-type: none"> • Combination of rendered / design block wall / feature stone piers with slats; • Pool and metal tubular fencing, as long as it's well landscaped; • Slat fencing with solid feature panels; <p>Note: all slats / poles / posts must be pre-finished / powder coated.</p>

5.7 Retaining walls

REQUIREMENTS

L14	Retaining wall height & materials	If visible from a street or park, any single retaining wall must be no higher than 1 m, and must be constructed of masonry, in-situ concrete, or textured concrete (sealed) sleeper or stone. Masonry must be rendered, painted, bagged, face brickwork or stonework. Timber, unsealed concrete sleepers and unrendered concrete blockwork are prohibited.
L15	Retaining walls with fences above	If a lot boundary retaining wall is surmounted by a fence, the top of the wall must be at least 100mm above the finished ground level on either side.
L16	Retaining walls on boundary	Structural retaining walls on a lot boundary must be designed by a certified practicing structural engineer. A stacker block, boulder or sleeper style retaining wall along a lot boundary may be permitted subject to the following conditions: <ul style="list-style-type: none"> • The wall may retain excavation but not retain fill. • It must be installed in accordance with the manufacturer's specification. <p>A stacker block wall is subject to the following additional conditions:</p> <ul style="list-style-type: none"> • Every part of the retaining wall shall be further than 500 mm from the lot boundary. • Excavation shall be at least 400 mm from the lot boundary. • The wall shall be no more than 800 mm high. <p>If planning to excavate within 400 mm of the lot boundary, written approval must be obtained from the adjoining owner before excavation is begun.</p> <p>The retaining wall must incorporate appropriate water proofing and subsurface drainage to ensure ground water does not enter the property from the adjoining lot.</p> <p>NOTE: To protect adjoining land, an excavation close to a lot boundary must comply with the following Northern Territory Acts and Regulations:</p> <ul style="list-style-type: none"> • Law of Property Act • Building Act • Building Regulations

6 Maintaining your lot

In assisting to maintain a clean community, property owners are required to keep allotments clear of weeds or rubbish and generally maintained to a reasonable standard.

REQUIREMENTS

M1	Maintain clean lot	To maintain a clean and safe environment, lot owners must keep their lot clear of weeds and rubbish and maintained to a reasonable standard before and during construction.
M2	Costs charged	If the lot is not maintained to a reasonable standard, the lot may be slashed, mown and or cleaned up by the Developer and the cost incurred charged to the lot owner.
M3	During construction	During construction of the house, the builder must install a containment structure on the allotment for the disposal of all waste materials. This must be regularly emptied and suitably maintained.
M4	Erosion control	Until the landscaping of the lot is completed, appropriate erosion and sediment control measures must be implemented.
M5	Street trees	If the street tree in front of the lot is damaged, dies or is removed during the construction of the house, it must be replaced at the lot owner's cost. The Developer may direct the lot owner to replace it and will provide the lot owner with a tree of the appropriate species. Only certain street trees species are approved by the City of Palmerston.
M6	Damage to public property	If construction on the lot causes any damage to footpaths, verges, or roadways, the Developer may rectify the damage and charge the lot owner for any costs incurred. The lot owner may be able to claim this cost from the builder.

7 Recommended actions

This section provides smart design ideas for your home. These actions are recommended because they can save you money, keep you comfortable, be good for the planet and help build community. Some actions may not be possible or sensible on some lot orientations.

7.1 Climatically responsive design

By designing to suit the Top End's tropical climate, your house at The Heights can be comfortable all year round with little or no need for powered cooling and heating appliances. Just apply the three design principles detailed below: sun control; cross ventilation, and thermal control.

Sun control

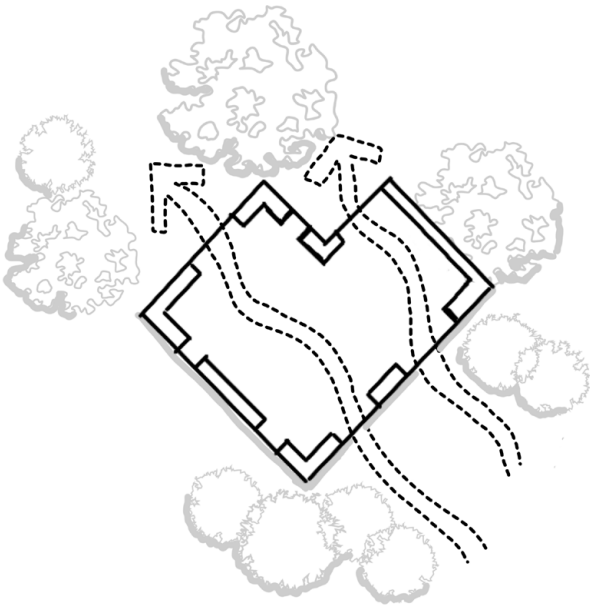
- Avoid long, western facing walls.
- Minimise the number and size of windows facing west.
- Provide eaves to shade all walls. Project them from the walls at least 900mm. Projection over gables can be shorter, as there the sun is heating the roof space, not living space.
- Add canopies over all external doors and sunhoods over all windows. This protects them from direct sunlight and storm driven rain.
- Site service spaces against the west wall, such as garages, laundries and bathrooms, and avoid siting living rooms and bedrooms there.



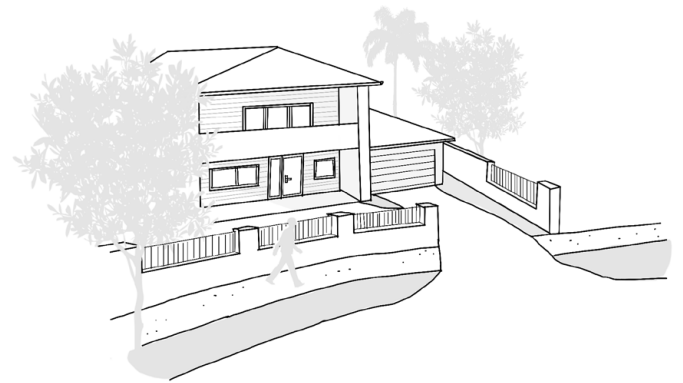
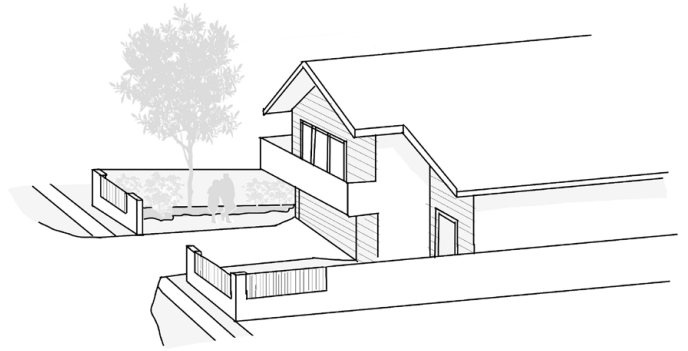
Above: Shade windows and doors from the sun, especially in the afternoon.

Cross ventilation

- Site internal and external living areas to the north-east, to take advantage of the cooling breeze in the wet season, and morning sun in the dry season.
- Provide door and window openings on opposite or adjacent walls. That way, cool breezes can easily travel through the entire house to naturally ventilate it.
- Create at least one covered outdoor area where you can dine, socialise, play and dry clothes. These spaces can remain shaded and dry, and open to breezes.
- On Build-to-Boundary lots, a courtyard on the Build-to-Boundary wall allows cross-ventilation.
- Maximise the cross ventilation of the house by the placement of windows in all rooms and the use of side boundary setbacks. By achieving good cross-ventilation of your house, you also allow good cross-ventilation of your neighbours down-wind.



Above: Use breezes to cool your house.



Above: Incorporate garages into the design of the dwelling and minimise their impact on the street by increasing setbacks and incorporating landscaping to the street frontage.

Thermal control

- Have a door between the living spaces in your house and the bedrooms. That way you can heat or cool just part of the house, not the whole of it.
- Insulate the walls and ceiling, so you can keep the house cool.
- Ventilate the roof space well, so the heat from the roof doesn't transfer into your living spaces.

7.2 Creating an attractive streetscape

- A variety of setbacks creates a more attractive street. Please consider setting your house further back than the minimum required.
- Site your living rooms to have an outlook to the street. This gives you a good outlook, makes the street safer, and helps build community.
- If your lot adjoins a park, please consider having windows that overlook it. That gives you a pleasant view and makes the park safer. Please also consider designing that side of the house as you would the front of the house, so your house presents attractively to the park.
- The front façade of your house will look more attractive if the garage or carport is not prominent. Techniques to downplay this include; setting the garage door back from the balance of the façade; colouring it the same or a very similar colour to the surrounding wall; having a lot of visual interest in the balance of the façade; and shading the opening with deep eaves or a balcony over.

7.3 Utilities

Data cabling

The Heights Durack has been developed with underground fibre optic cabling right to your lot ('Fibre to the premises', FTTP). This allows your builder to easily connect fibre-optic cabling into your house.

NBN's Full Fibre allows for a powerful and energy efficient connection that will deliver access to NBN's fastest residential speed tiers with the ability to reach near gigabit speeds.

Learn more about the benefits of NBN Fibre to the Premise (FTTP) at:

www.nbnco.com.au/learn/network-technology/fibre-to-the-premises-explained-ftp

www.nbnco.com.au/blog/the-nbn-project/nbn-technology-101-what-is-ftp

Solar power

Plan for an area on your roof to place solar hot water panels and photovoltaic panels. This area should preferably be:

- north-facing, but other aspects will work too.
- not seen from the street in front of your house.

The ideal angle of the panel if north facing is 12 degrees. However, the efficiency lost if the angle is 15 degrees off is only roughly 1.5%. So, at The Heights, mounting directly on a flat roof or on a standard 22 degree roof is fine. If you want to optimise dry season power, add an extra 15 degrees – so the ideal angle would be 27 degrees.

Rainwater collection

Adding a rainwater tank to collect run off from the roof conserves drinking water and saves you money. You can use the water on the garden and to flush the toilet. Site the tank where it is not prominent in the view from the street or from your neighbours, and where it will not obstruct movement. Tanks come in a wide range of sizes, shapes, colours, and materials. Choose one that will complement the colours and materials of your house.

7.4 The garden

Plant selection

Some plants will thrive with almost no care, and others will need to be coddled almost every day. Please select plants that need little watering after establishment. Trees can shade your house and your outdoor living areas to create a more pleasant living environment and to reduce the need for mechanical cooling.

Speak to your local nursery for plants suited to your home design and lifestyle.

Irrigation

An irrigation system in your garden can save you time, money, and water. A fixed drip irrigation system is the most efficient type for water use.



Appendix 1: Checklist

You can access a customised design standards checklist for your lot in the Home Design Assessment Portal. Please print this checklist to assist you in preparing your drawings.

When submitting your application, you **must** complete the online checklist, indicating whether you comply with each standard or if you are requesting an exemption.

The example checklist below is for reference only.

THE HEIGHTS

DURACK



Housing Design Assessment Checklist

Client: Signature:
 Lot No: House Name:
 Builder: Signature:

ITEM	DESIGN PROVISIONS	COMPLIANT SECTION	BUILDERS ASSESSMENT	DRP	
Completed Application Form	<ul style="list-style-type: none"> - Preliminary Colour and material selection - Landscape design 				
Supporting Plans and Documentation	<ul style="list-style-type: none"> - Preliminary Site Plan - Elevations - Fencing and Driveway details - Floor plan 				
Orientation	<ul style="list-style-type: none"> - Capture breezes - Street outlook - Park outlook - North East Living areas. 	Section 3.1 - Requirements B1-B4			
Building Envelopes	<ul style="list-style-type: none"> - Siting and setbacks - Build to boundary 	Sections 3.2 Requirements B6-B7 Sections 3.2 Requirements B8-B13			
Architectural Style	<ul style="list-style-type: none"> - Designing your home - Frontage to secondary streets and parks - Individual designs - The Roof & The Roof run off - Walls, doors and windows - Motor Vehicle Storage - Materials - Colour Scheme - Ancillary Equipment 	Section 4.1 Requirements C1 -C9 Section 4.1 Requirements C10-C13 Section 4.1 Requirement C15 Section 4.2 & 4.3 Requirements D1-D10 Section 4.4 Requirements E1-E5 Section 4.5 Requirements F1-F8 Section 4.6 Requirements G1-G5 Section 4.7 Requirements G6-G9 Section 4.8 Requirements H1-H5			
Privacy & Security	<ul style="list-style-type: none"> - Privacy is important to maintain with the close proximity of neighbours 	Section 4.9 Requirements H6-H10			
The Outside	<ul style="list-style-type: none"> - Outdoor living area size - Driveways, paths and crossovers - Landscaping - Secondary structures (sheds, pergolas, workshops, gazebo, change rooms, aviaries) - Front yard fencing - Side & Rear fencing (side, rear fencing and developer fencing) - Retaining walls 	Section 5.1 Requirement I1 Section 5.2 Requirements I2-I6 Section 5.3 Requirements J1-J5 Section 5.4 Requirements K1-K8 Section 5.5 Requirements L1-L4 Section 5.6 Requirements L5-L12 Section 5.7 Requirements L13-L15			
Maintaining Your Lot	<ul style="list-style-type: none"> - Maintain a clean community 	Section 6 Requirements M1-M6			



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