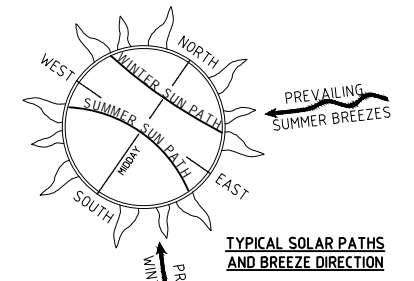


- NOTES:**
- LOT TYPOLOGY, SETBACKS AND MINIMUM BUILDING ENVELOPES ARE TO BE CONSISTENT WITH SP8 SPECIFIC USE ZONE PALMERSTON NO. 8
 - MINIMUM BUILDING ENVELOPES FOR ALLOTMENTS ARE AS FOLLOWS:
 - FOR LOTS 250-399m²: 10m x 12m (EXCLUSIVE OF ANY BOUNDARY SETBACKS OR SERVICE AUTHORITY EASEMENTS)
 - FOR LOTS 400-599m²: 10m x 12.5m (EXCLUSIVE OF ANY BOUNDARY SETBACKS OR SERVICE AUTHORITY EASEMENTS)
 - FOR LOTS 600m²+: 12m x 15m (EXCLUSIVE OF ANY BOUNDARY SETBACKS OR SERVICE AUTHORITY EASEMENTS)
 - SETBACK REQUIREMENTS FOR SINGLE DWELLING RESIDENTIAL ALLOTMENTS ARE:
 - CARPORTS AND GARAGES ARE TO BE SETBACK A MINIMUM OF 6M TO THE PRIMARY STREET FRONTAGES;
 - GATE ENTRY WAY STRUCTURES, WITH NO MORE THAN 2 SOLID WALLS AND ROOF, AND WITH MAXIMUM DIMENSIONS OF 2m x 2m, ARE PERMITTED WITHIN THE PRIMARY STREET FRONTAGE SETBACK AREA; AND
 - FOR LOTS OF 400m² - 500m² IN SIZE, STORAGE STRUCTURES MAY BE LOCATED WITH A 0M SIDE SETBACK ON ONE SIDE BOUNDARY FOR A LENGTH NOT EXCEEDING 5.5m ALONG THE SIDE BOUNDARY AND THE MAXIMUM HEIGHT OF THE STORAGE STRUCTURE SHALL BE NO MORE THAN 2.1m.
 - THE ADDITIONAL SETBACK REQUIREMENTS FOR RESIDENTIAL BUILDINGS LONGER THAN 18m OUTLINED IN CLAUSE 7.3.1 OF THE NT PLANNING SCHEME APPLY.
 - THE SETBACK REQUIREMENTS FOR MORE THAN ONE BUILDING ON ONE SITE OUTLINES IN CLAUSE 7.3.2 OF THE NT PLANNING SCHEME APPLY.

NOTE:
FOOTPATH AND STREET TREE LOCATION TO BE DETERMINED

DRIVEWAY ACCESS LOCATIONS:
ALLOWABLE DRIVEWAYS ACCESS LOCATIONS ARE SHOWN INDICATIVELY AND ACTUAL LOCATIONS SHALL BE CLEAR OF ALL APPURTENANCES VIZ. PILLAR BOX, SERVICE PITS, LOT WATER OFFTAKES AND SUBSOIL FLUSH POINTS AS PER ANY AUTHORITY APPROVALS.

BUILDING SETBACKS:
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- LEGEND**
- PROPOSED LOT BOUNDARY
 - S EXISTING SEWER MAIN
 - W EXISTING WATER MAIN
 - SWD EXISTING STORMWATER DRAINAGE
 - S PROPOSED SEWER MAIN
 - W PROPOSED WATER MAIN
 - E PROPOSED ELECTRICAL
 - NBN PROPOSED NBN
 - SWD PROPOSED STORMWATER DRAINAGE
 - BUILDING ENVELOPE
 - FRONT SETBACKS:
 - MAIN BUILDING LINE MINIMUM 4m
 - GARAGE/CARPORIT MINIMUM 6m
 - CH COMPACT HOUSING 1 (400 - 499m²)
 - T1 TRADITIONAL 1 (500 - 699m²)
 - T2 TRADITIONAL 2 (>700m²)
 - PROPOSED EASEMENT
 - FIRE HYDRANT
 - ALLOWABLE DRIVEWAY ACCESS
 - PROPOSED ACOUSTIC FENCE
 - EXISTING ACOUSTIC FENCE
 - STREET TREES TO BE 1.4m OFFSET FROM KERB
 - 10m x 10m ELECTRICAL PILLAR EASEMENT
 - PROPOSED RETAINING WALL

AS CONSTRUCTED
INFORMATION CERTIFIED BY
BMD URBAN PTY LTD
SIGNED.....DATE.....

LOCALITY PLAN
SCALE 1:250 (A1)

AS CONSTRUCTED

5	AS CONSTRUCTED	ES	ES	WR	WR	21/03/2024	
4	MINOR AMENDMENTS	ES	ES	WR	WR	03/12/24	
3	MINOR AMENDMENTS	MC	ES	WR	WR	01/11/24	
2	RETAINING WALL AMENDMENTS	MC	ES	WR	WR	23/10/24	
1	MINOR AMENDMENTS	MC	ES	WR	WR	16/10/24	
No.	Amendments	Drawn	Design	Design	Chk	Appd	Date

THE HEIGHTS
DURACK

EMPOWER

ENGINEERING CERTIFICATION

Client: **URBEX 120 PTY LTD**

Project: **THE HEIGHTS STAGE 11 ABEP**

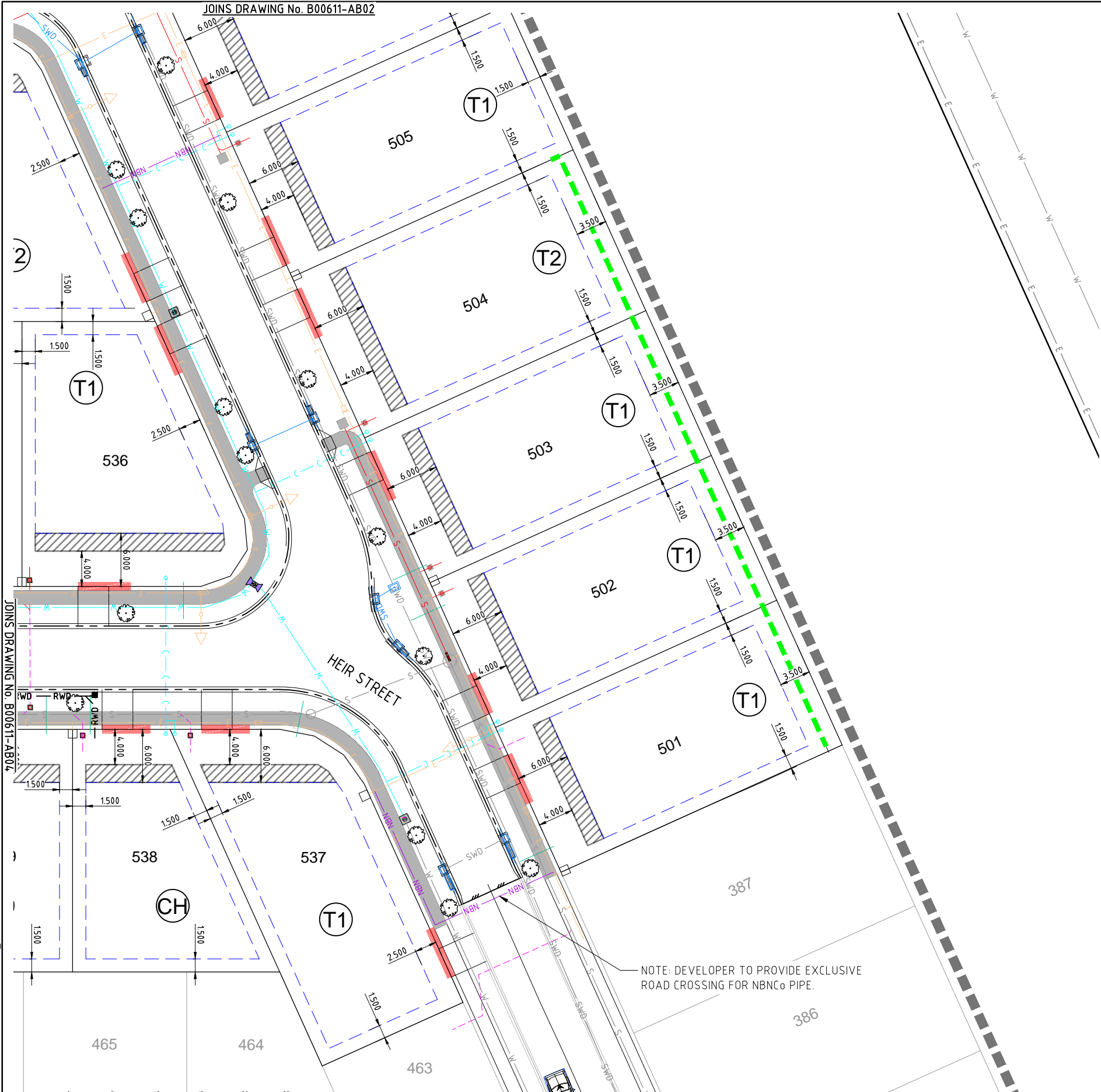
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Datum: **AHD PSM RL (MGA) COORD**

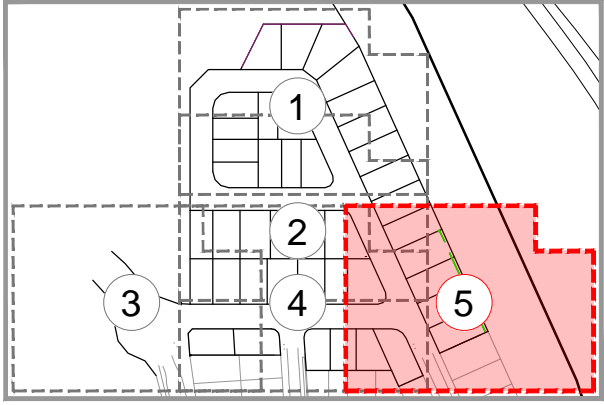
AS CONSTRUCTED

Project No: **B00611-AB02** Drawing No: **5** Rev: **5**

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- NOTE:**
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KEY PLAN
SCALE 1:2500 (A1)

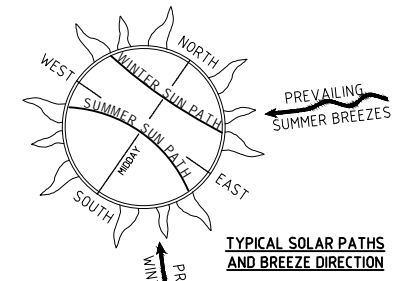
AS CONSTRUCTED
INFORMATION CERTIFIED BY
BMD URBAN PTY LTD

SIGNED.....DATE.....

NOTE:
FOOTPATH AND STREET TREE LOCATION TO BE DETERMINED

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 - PROPOSED RETAINING WALL

LOCALITY PLAN
SCALE 1:250 (A1)

AS CONSTRUCTED

5	AS CONSTRUCTED	ES	ES	WR	WR	21/03/2025
4	MINOR AMENDMENTS	ES	ES	WR	WR	03/12/24
3	MINOR AMENDMENTS	MC	ES	WR	WR	01/11/24
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1	MINOR AMENDMENTS	MC	ES	WR	WR	16/10/24
No.	Amendments	Drawn	Design	Design Chk	Appd	Date

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THE HEIGHTS
DURACK



Client: **URBEX 120 PTY LTD**

Project: **THE HEIGHTS STAGE 11 ABEP**

Title: **ACCESS AND BUILDING ENVELOPE PLANS SHEET 5 OF 5**

Datum: **AHD**

PSM

RL

(MGA) COORD

AS CONSTRUCTED

Project No. Drawing No. Rev

B00611-AB05 5